

**DELTA COUNTY COURT HOUSE
Escanaba, Michigan**

FRONT ENTRY SECURITY UPGRADE

ADVERTISEMENT FOR BIDS

1. PROJECT INFORMATION

- A. Notice to Bidders: Bidders may submit bids for project as described in Documents. Submit bids according to Instruction to Bidders.
- B. Project Identification: Front Entry Security Upgrade**
 - a. Project Location: 310 Ludington St., Suite 222, Escanaba
- C. Owner: Delta County
- D. Owners Representative: Cory Schroeder, Director of Maintenance, 310 Ludington St, Escanaba, Michigan 49829
 - a. Project Description: **Front Entry Security Upgrade.**
 - b. Project cost range is not being advertised.
- E. Construction Contract: Bids will be received for the following work:
 - a. General Contract Carpentry and finish work only.
 - b. All electrical work is by others.

2. BID SUBMITTAL AND OPENING

- A. Owner will receive sealed bids until the bid time and date at the location indicated below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
 - a. Bid Date: April 26, 2024
 - b. Bid Time: 3 pm eastern standard time
 - c. E-mail bids to ayoung@deltacountymi.gov
 - d. Mail to: Delta County Courthouse C/O Administration Office Suite 222; 310 Ludington St. Escanaba, MI.
 - e. Bids received after Bid Time will not be opened and will be returned to bidder.
- B. Bids will be thereafter publicly opened during Delta County board meeting.

3. PREBID MEETING

- A. Prebid Meeting: A mandatory Prebid meeting for all bidders will be held at the projection location on April 5, 2024 at 9:00 am eastern standard time.
 - a. Bidders questions: Architect will receive bidding questions by phone or submitted via email bittnerengineering@bittnerengineering.com Questions need to be received three days prior to bid date and time.

4. DOCUMENTS

A. Procurement and Contracting Documents: Electronic Documents will be provided to all bidders; only complete sets of documents will be issued.

(1) Bidding Documents also may be examined at **Delta County's website, the Marinette/Menominee Builder's Exchange, the Delta County Builder's Exchange, the Iron Mountain/Kingsford Builder's Exchange, and the Marquette County Builder's Exchange.**

5. WORK HOURS

A. Work hours shall be 4 pm until 8am Monday through Sunday. A one-week notice is required prior to starting. The work site shall be maintained in a clean and orderly manner, the floor shall be swept clean daily. The project site shall be free of any tools and materials during normal business hours. All work hours and schedules shall be approved by Cory Schroeder, Director of Maintenance for the Delta County Court House, contact Cory at least one week before starting. Cory shall be updated daily on construction progress. Reference drawings for contact information.

6. TIME OF COMPLETION

A. Bidders can begin work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time.

B. Project Substantial Completion date shall be on or before September 13, 2024

7. BIDDER'S QUALIFICATIONS

A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. A Performance Bond, a separate Labor and Material Payment Bond, and insurance in a form acceptable to Owner will be required of the successful Bidder.

B. Insurance Requirements: The Contractor is required to provide the type and amount of insurance below.

(1) Commercial General Liability Insurance with a limit of not less than five hundred thousand dollars (\$500,000) per occurrence as Additional Insureds on the Commercial General Liability policy.

(2) Contractor must have vehicle liability insurance for bodily injury and property damage as required by law on any auto including owned, hired and non-owned vehicles used in the Contractor's business.

(3) Worker's disability compensation, disability benefit or other similar employee benefit act with minimum statutory limits.

+ + END OF ADVERTISEMENT FOR BIDS + +

DELTA COUNTY COURT HOUSE FRONT ENTRY SECURITY UPGRADE

301 LUDINGTON STREET, SUITE 222
ESCANABA, MICHIGAN

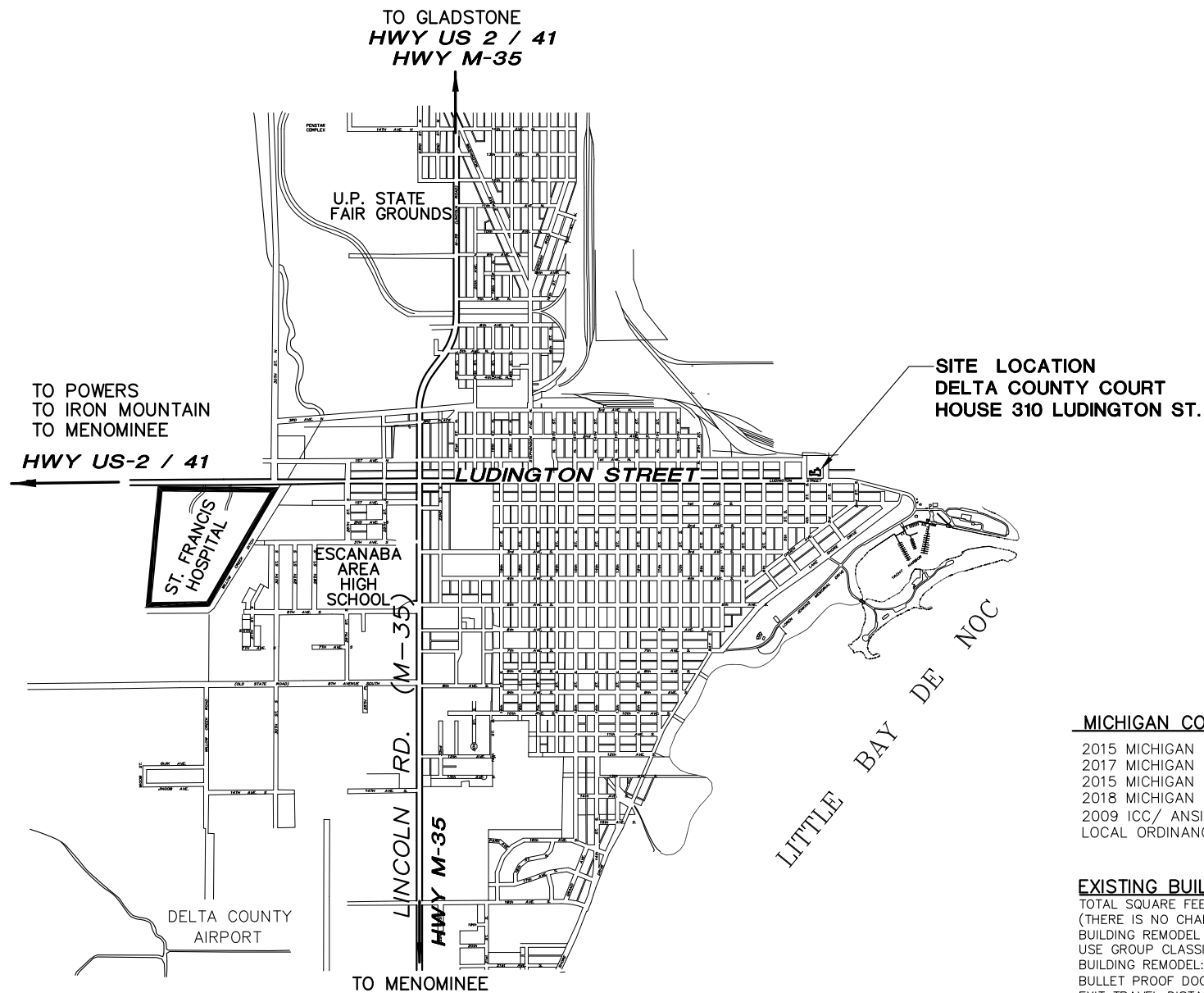


DELTA COUNTY COURT HOUSE

ESCANABA PUBLIC LIBRARY

MICHIGAN SECRETARY OF STATE OFFICE BUILDING

DELTA COUNTY COURT HOUSE 'FRONT ENTRANCE' ALL CONTRACTOR ACCESS IS AT THIS LOCATION



SITE LOCATION MAP
NOT TO SCALE

PROJECT LOCATION MAP
NOT TO SCALE

PERMITS

THIS DRAWING SET IS FOR BUILDING CONSTRUCTION PERMIT ONLY. ALL MECHANICAL, PLUMBING AND ELECTRICAL DESIGN AND PERMITTING IS BY OTHERS.

BUILDING REVIEWED PER 2015 MICHIGAN BUILDING CODE	
USE GROUP	EXISTING FIRST LEVEL – OCCUPIED NO CHANGES
B	OFFICE SPACE
	EXISTING SECOND LEVEL – REPLACE (2) DOORS
B	OFFICE SPACE

MICHIGAN CODES

2015 MICHIGAN COMMERCIAL BUILDING CODE
2017 MICHIGAN PART 8 ELECTRICAL CODE
2015 MICHIGAN MECHANICAL CODE
2018 MICHIGAN PLUMBING CODE
2009 ICC/ ANSI A117.1
LOCAL ORDINANCES

EXISTING BUILDING INFORMATION AND NEW WORK

TOTAL SQUARE FEET BUILDING #1: 24,600 SQ FT EACH FLOOR (THERE IS NO CHANGE IN BUILDING AREA)
BUILDING REMODEL USE: OFFICE
USE GROUP CLASSIFICATION: B
BUILDING REMODEL: REPLACING DOUBLE DOORS WITH (2) SEPARATE BULLET PROOF DOORS 1'-0"±. ADD HALF WALLS AT ENTRY
EXIT TRAVEL DISTANCE: NO CHANGE

EXISTING BUILDING STRUCTURAL INFORMATION

SECTION 304 THERE IS NOT STRUCTURAL ALTERATION OR CHANGE OF USE TO THE SPACE, THEREFORE NO STRUCTURAL ANALYSIS OR WORK IS REQUIRED.

BITTNER ENGINEERING, INC.
113 SOUTH 10th STREET
ESCANABA, MICHIGAN 49829
Phone: 906-789-1511
Email: bittnerengineering@bittnerengineering.com

DELTA COUNTY COURTHOUSE
SECURITY UPGRADES
ESCANABA, MICHIGAN

FRONT ENTRY PARTIAL PLAN
GENERAL NOTES

DRAWING NUMBER:
G-1
PROJECT #:
24-99-2383
SHT OF REV. 0

DWN BY: CHB
DSGN BY: BEI
APPD BY: DBB
DATE: 3-7-24
SCALE: AS NOTED
CAD NO. 2383-G1

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
2. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, AND ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS, THE MORE STRINGENT PROVISION SHALL APPLY.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING , BUT NOT LIMITED TO, BUILDING PERMIT AND SOIL EROSION AND SEDIMENTATION PERMIT. ALL PERMITS MUST BE ACQUIRED BEFORE ANY CONSTRUCTION MAY TAKE PLACE AT THE SITE.
4. CONTRACTOR SHALL CONTACT "MISS DIG" FOR UTILITY LOCATION BEFORE ANY WORK CAN COMMENCE AT THE SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES AND/OR UTILITIES CAUSED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR ANY NECESSARY UTILITY RELOCATION.
6. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WITH THE WORK. IN THE EVENT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ENGINEER.
7. UNLESS INDICATED OTHERWISE, ANY REMOVED OR DEMOLITION MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY OFF SITE.
8. A BASELINE FOR HORIZONTAL CONTROL AND BENCHMARK ELEVATION FOR VERTICAL CONTROL WILL BE PROVIDED BY THE ENGINEER BEFORE WORK COMMENCES AT THE SITE.
9. ADDITIONAL STAKING WILL BE PROVIDED BY THE ENGINEER, AS NECESSARY, TO COMPLETE THE WORK.
10. IF AVAILABLE, THE OWNER SHALL PROVIDE A LEGAL PLOTTED SURVEY OF THE SITE TO THE CONTRACTOR.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY FASHION. ALL DEBRIS GENERATED BY THE WORK SHALL BE DISPOSED OF PROPERLY. SITE MAINTENANCE SHALL INCLUDE ANY DAMAGE CAUSED BY THE WEATHER, INCLUDING SNOW REMOVAL.
12. TEMPORARY HEATING, WHEN NECESSARY, SHALL BE PAID FOR SEPARATELY.

LUMBER AND WOOD

1. ALL LUMBER AND SHEATHING SHALL HAVE A GRADE STAMP RECOGNIZED BY THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION OR THE AMERICAN PLYWOOD ASSOCIATION.
2. LUMBER FOR FRAMING SHALL BE SPRUCE, PINE, FIR #2 OR BETTER.
3. UNLESS INDICATED OTHERWISE, ALL STUD WALLS ARE 16 INCH ON CENTER WITH THE PROPER BLOCKING, PLATES, BRACING, ETC. AND COVERED BY THE APPROPRIATE FINISHES AS INDICATED ON THE FINISH SCHEDULE OR AS DIRECTED BY THE OWNER.
4. CONTRACTOR SHALL PROVIDE PROPER LINTELS/HEADERS FOR ALL MECHANICAL DUCTWORK, LOUVERS, DOORS, WINDOWS, OPENINGS, ETC. AS REQUIRED.
5. BOLTS FOR WOOD TO WOOD OR WOOD TO STEEL CONNECTIONS SHALL CONFORM TO ASTM A307.
6. WOOD TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION. SHOP DRAWINGS SHALL BEAR THE STAMP OF AN ENGINEER LICENSED IN THE STATE OF MICHIGAN.
7. WOOD TRUSS MANUFACTURER SHALL DESIGN FOR ALL EQUIPMENT LOADS ATTACHED TO BOTTOM CHORDS OF TRUSSES OR MOUNTED ON ROOF TOP.
8. ANY WOOD TO BE ATTACHED TO A CONCRETE SURFACE SHALL BE TREATED TO 0.60/CU.FT.
9. TREATED LUMBER SHALL BE IN ACCORDANCE WITH AWPA STANDARDS C2 AND C9. WATERBORNE PRESERVATIVE SHALL HAVE A RETENTION OF 0.25 LB./CU.FT. FOR WOOD ABOVE GROUND EXPOSED TO THE WEATHER, 0.40 LB./CU.FT. FOR WOOD IN CONTACT WITH THE GROUND, AND 0.60 LB./CU.FT. FOR PERMANENT WOOD FOUNDATIONS.

PROJECT NOTES:

1. PRIOR TO PROJECT START UP, A ONE WEEK NOTICE SHALL BE GIVEN TO THE DELTA COUNTY COURT HOUSE REGARDING START UP.
2. WORK HOURS ARE FROM 4 PM THROUGH 8 AM 7 DAYS A WEEK.
3. CONTRACTOR SHALL PROVIDE EMPLOYEE NAMES WHO WILL BE ON SITE DURING EACH DAY OF CONSTRUCTION TO THE CORY SCHROEDER.
4. ALL MATERIALS AND CONTRACT ACCESS SHALL BE THROUGH THE FRONT ENTRANCE.
5. PROJECT SITE SHALL BE MAINTAINED AND NOT EFFECT THE DAY TO DAY ACTIVITIES OF THE COURT HOUSE OPERATIONS. ALL EQUIPMENT AND DEBRIS SHALL BE REMOVED AND THE FLOOR SWEEP DAILY.
6. COURT HOUSE RESTROOMS WILL BE AVAILABLE TO CONTRACTORS DURING CONSTRUCTION.
7. CONTRACTOR WORK SCHEDULES SHALL BE APPROVED BY CORY SCHROEDER, DIRECTOR OF MAINTENANCE CELL 906-241-2083.

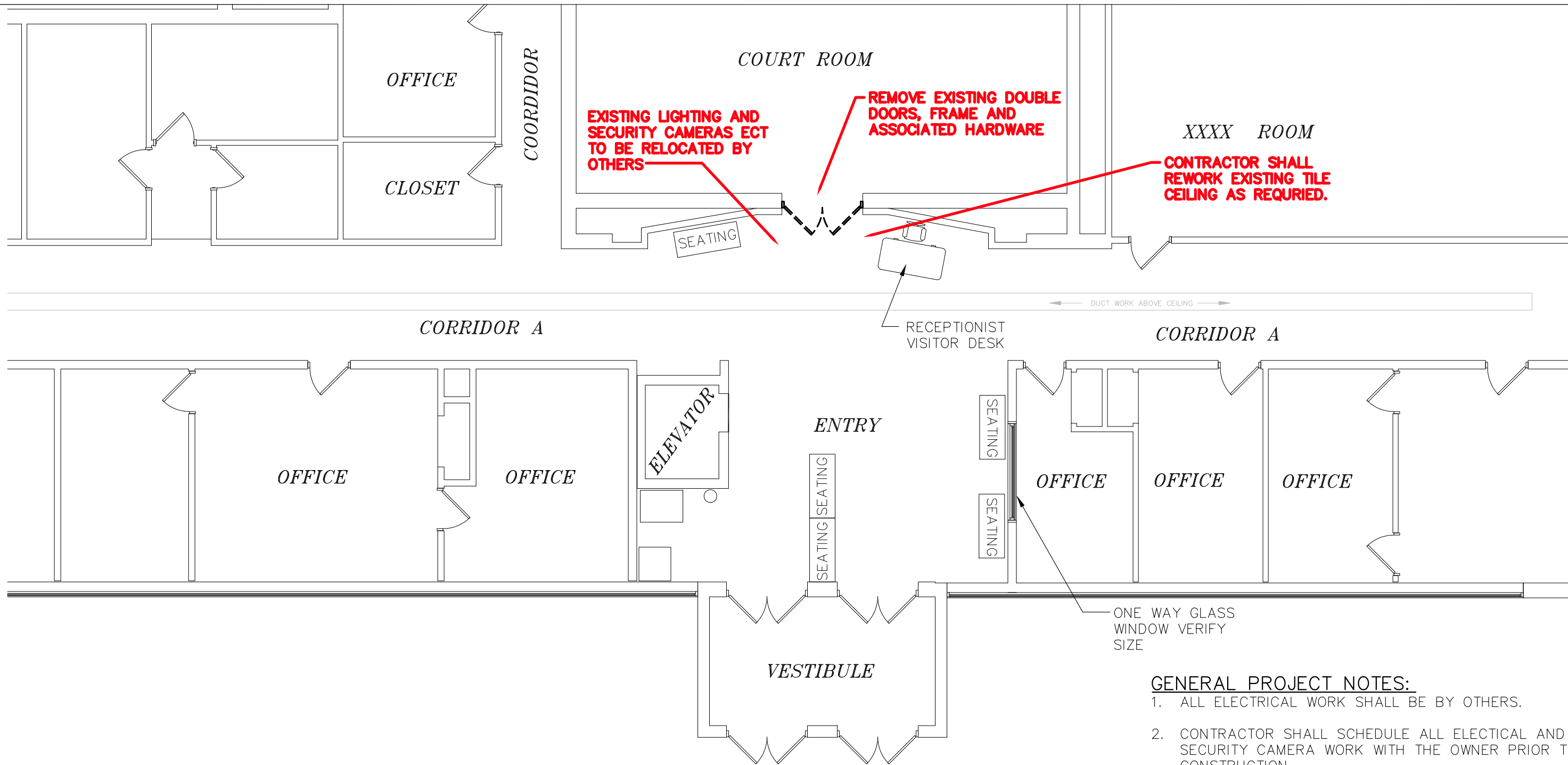


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DWN BY: CHB	DELTA COUNTY COURTHOUSE	DRAWING NUMBER:
DSGN BY: BEI		G-2
APPD BY: DBB	SECURITY UPGRADES	PROJECT #:
DATE: 3-7-24	ESCANABA, MICHIGAN	24-99-2383
SCALE: AS NOTED	FRONT ENTRY PARTIAL PLAN	SHT OF REV. 0
CAD NO. 2383-G2	GENERAL AND PROJECT NOTES	

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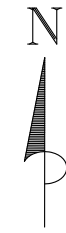
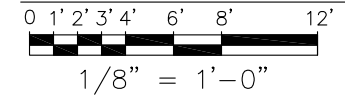
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GENERAL PROJECT NOTES:

1. ALL ELECTRICAL WORK SHALL BE BY OTHERS.
2. CONTRACTOR SHALL SCHEDULE ALL ELECTICAL AND SECURITY CAMERA WORK WITH THE OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE ALL HOURS OF WORK WITH THE DELTA COUNTY COURTS.
4. ALL DEMOLITION MATERIAL IS THE RESPONSIBILY OF THE CONTRACTOR AND IS TO BE DISPOSED OF PROPERTY AND

PARTIAL COURT HOUSE FRONT ENTRANCE DEMOLITION PLAN



EXISTING CANOPY COLUMNS

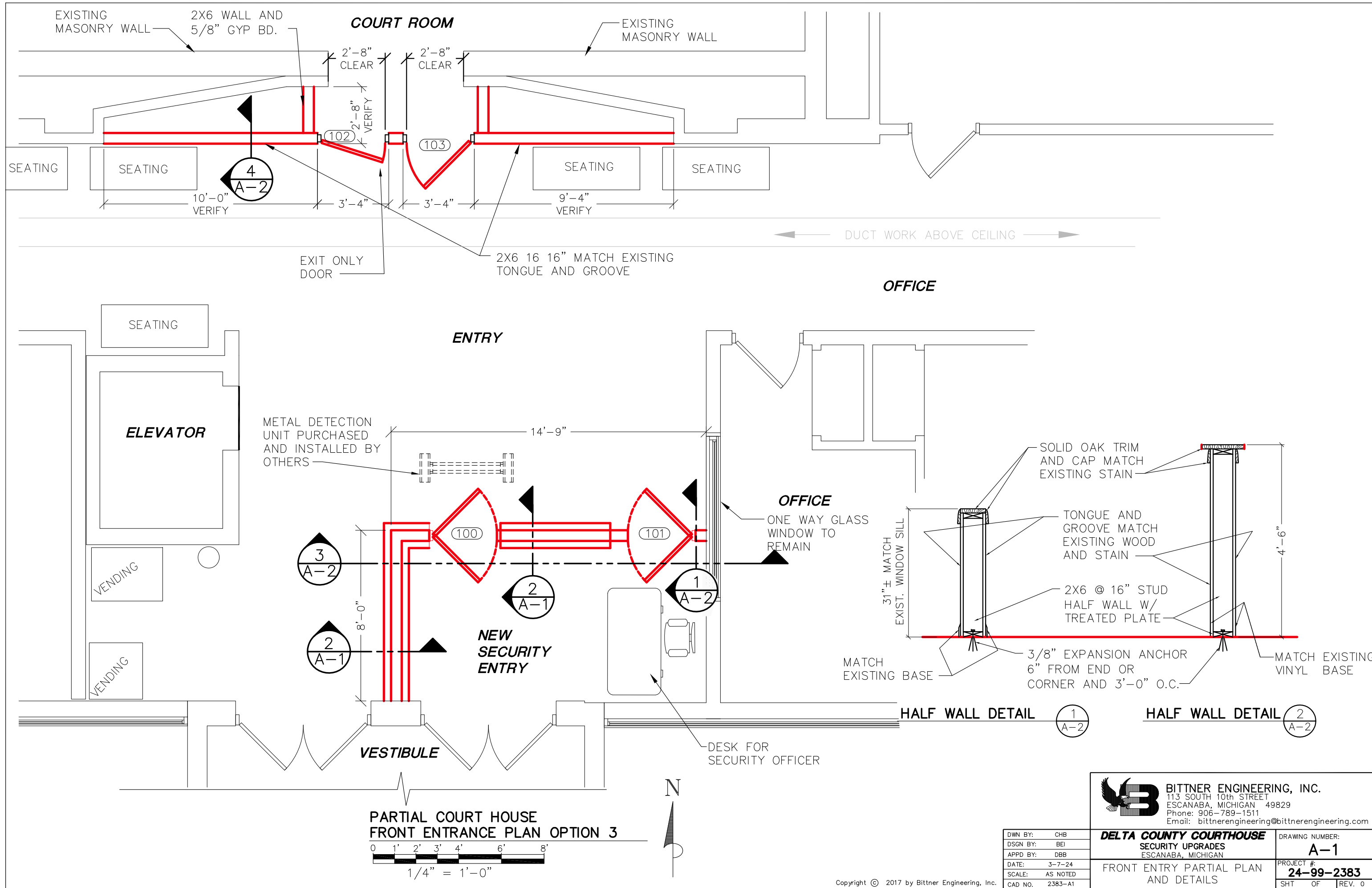
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DATE:	3-7-24
SCALE:	AS NOTED
CAD NO.	2383-A0

DELTA COUNTY COURTHOUSE
 SECURITY UPGRADES
 ESCANABA, MICHIGAN

PARTIAL FRONT ENTRANCE
 DEMOLITION PLAN

DRAWING NUMBER:	A-0		
PROJECT #:	24-99-2383		
SHT	OF	REV.	0



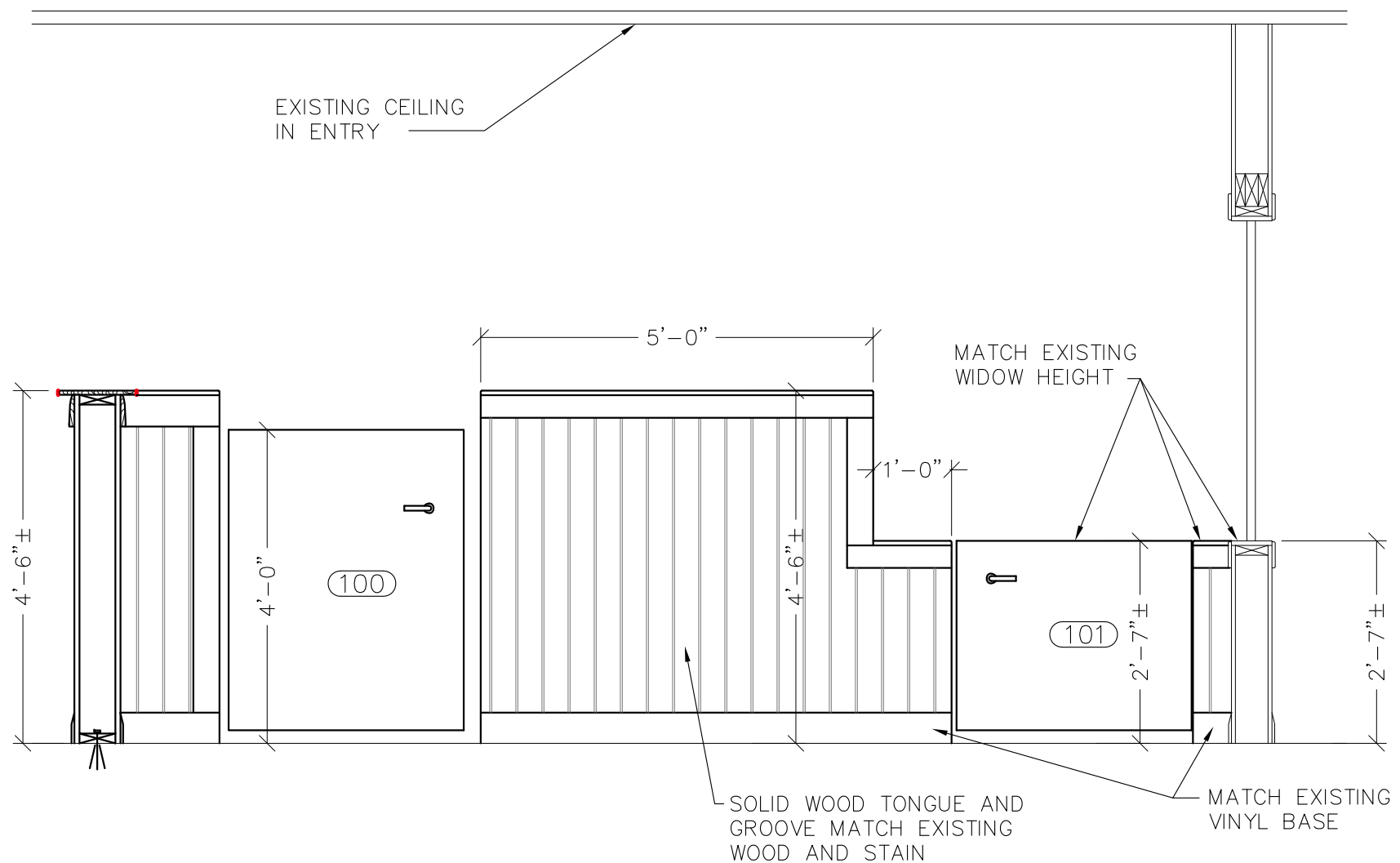
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DELTA COUNTY COURTHOUSE
 SECURITY UPGRADES
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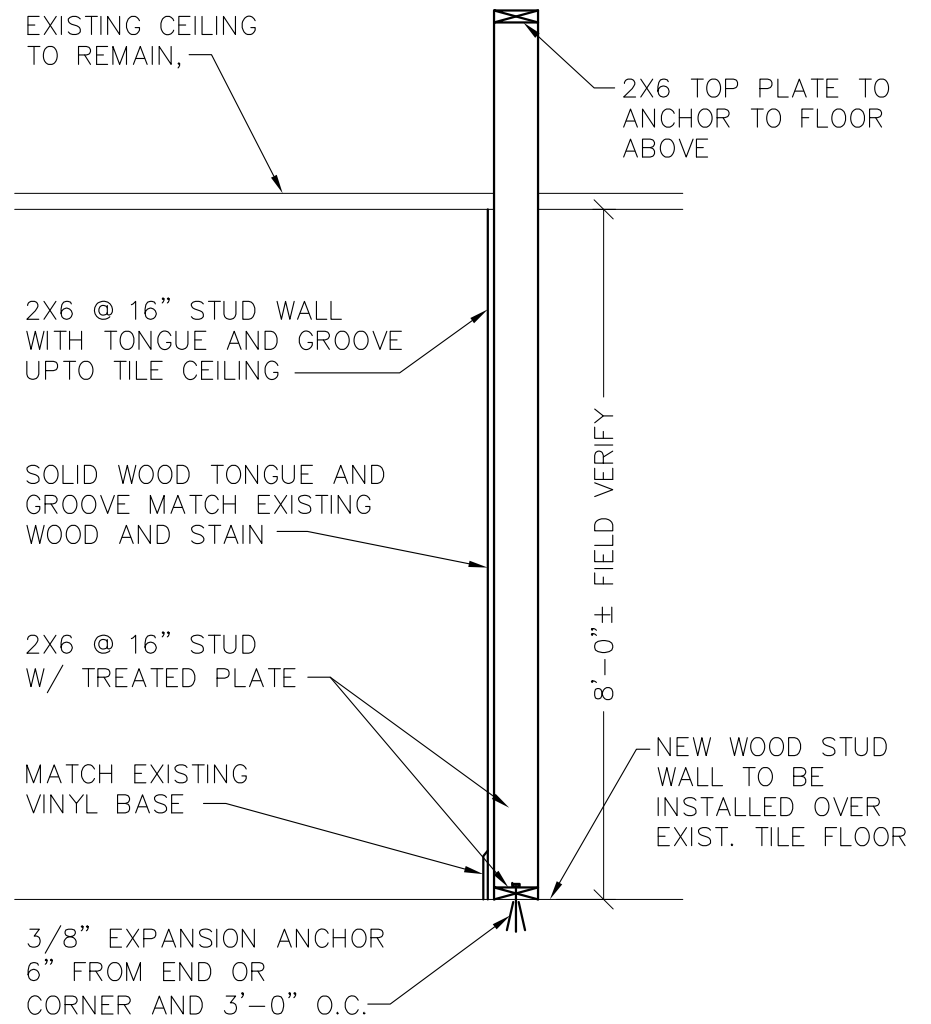
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PROJECT #:	24-99-2383
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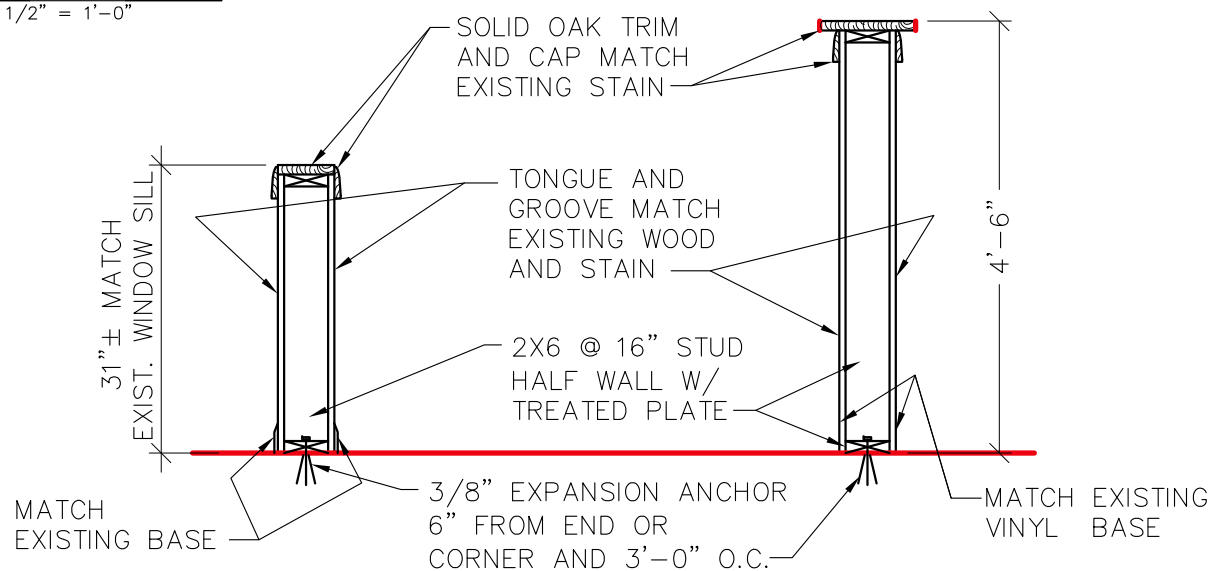
WALL PROFILE 3
A-2

0 1'-0" 2'-0" 3'-0" 4'-0"
 SCALE: 1/2" = 1'-0"



WALL DETAIL 4
A-2

0 1'-0" 2'-0" 3'-0" 4'-0"
 SCALE: 1/2" = 1'-0"



HALF WALL DETAIL 1
A-2

0 6" 1'-0" 2'-0" 3'-0"
 SCALE: 1/2" = 1'-0"

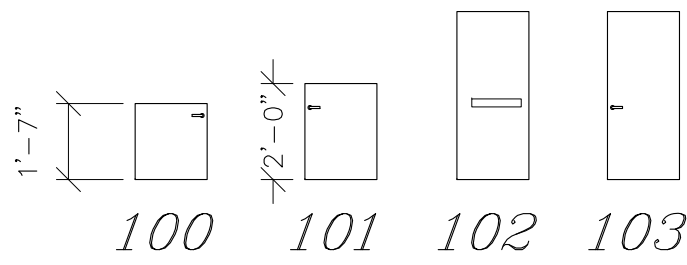
HALF WALL DETAIL 2
A-2

BITTNER ENGINEERING, INC. 113 SOUTH 10th STREET ESCANABA, MICHIGAN 49829 Phone: 906-789-1511 Email: bittnerengineering@bittnerengineering.com		DRAWING NUMBER: A-2	
		PROJECT #: 24-99-2383	
DELTA COUNTY COURTHOUSE SECURITY UPGRADES ESCANABA, MICHIGAN		FRONT ENTRANCE PLAN INTERIOR ELEVATIONS	
DWN BY: CHB	APPD BY: DBB	DATE: 1-9-24	SCALE: AS NOTED
CAD NO. XXX		SHT	OF
		REV.	0

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D O O R S C H E D U L E						
		DOOR		FRAME	HARDWARE	REMARKS
MARK	SIZE	TYPE	MATERIAL	MATERIAL	NOTES	
100	3'-0" x 7'-0"	D	WOOD	WOOD	SET X	PROVIDE CLOSER
101	3'-0" x 7'-0"	B	WOOD	WOOD	SET X	PROVIDE CLOSER
102	3'-0" x 7'-0"	B	METAL	HOLLOW MTL	SET X	DOOR NORMALLY CLOSED SEE NOTE 1
103	3'-0" x 7'-0"	A	METAL	HOLLOW MTL	SET X	ENTRY/EXIT DOOR SEE NOTE 2

1. EXIT ONLY PANIC HARDWARE, BULLET PROOF DOOR WITH WOOD VENEER COVERING.
2. BULLET PROOF DOOR WITH WOOD VENEER COVERING, ALL ELECTRIC DOOR CONTROLS, WIRING, ECT BY OTHERS.



DOOR TYPES

NOTES:

1. SOLID WOOD HALF DOORS AND FRAMES SHALL BE PREFINISHED. STAIN AND HARDWARE TO BE APPROVED BY OWNER PRIOR TO ORDERING.
2. FINISHES OF ALL HARDWARE SHALL MATCH.
3. MAN DOORS AND HARDWARE SHALL BE COMMERCIAL GRADE, SEE HARDWARE NOTES

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DELTA COUNTY COURTHOUSE
 SECURITY UPGRADES
 ESCANABA, MICHIGAN

DRAWING NUMBER:	
A-3	
PROJECT #:	
24-99-2383	
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REV.	0

FRONT ENTRANCE PLAN
 DOOR SCHEDULES